

**ORDINANCE AMENDING THE VILLAGE ZONING ORDINANCE  
SECTIONS 6.10 [NON-RESIDENTIAL BUILDING STANDARDS] AND  
6.10.1 [GENERAL] AND 6.10.2 [BUILDING FACADES] AND 6.10.3  
[BUILDING/STREET RELATIONSHIP].**

**BE IT ORDAINED** by the President and Board of Trustees of the Village of Oak Park, County of Cook, State of Illinois, acting pursuant to the Home Rule Powers as set forth in Article III, Section 6 of the Illinois Constitution (1970), as amended, that the Zoning Ordinance of the Village of Oak Park shall hereby be amended to read as follows:

**6.10 NON-RESIDENTIAL AND MULTI-FAMILY BUILDING STANDARDS**

**6.10.1 General**

**A. Intent**

It is the intent of these standards to promote architectural innovation and creativity in the design of buildings and sites, to promote design of buildings with visual interest that complement the streetscape, are compatible with surrounding developments, and enhance the pedestrian-oriented character and overall visual image of the Village.

**B. Purpose**

The purpose of this section is to advance the interest of public health, safety and general welfare as related to the exterior of buildings by:

1. Stabilizing or improving property values in the Village of Oak Park.
2. Promoting civic beautification of the Village of Oak Park.
3. Protecting property rights and values by balancing the rights of landowners to use and improve their land with the corresponding rights of abutting and neighboring landowners to enjoy their property.
4. Promoting environmentally sustainable buildings;
5. Promoting the development of an economically sound and stable Village of Oak Park.

6. Integrate new development harmoniously into the existing structures within the Village of Oak Park.

C. **Applicability**

1. These standards shall be applicable to the following types of projects: all new construction limited to new non-residential, mixed-use buildings and structures; and for multiple-family residential buildings containing four (4) or more dwelling units in the Village approved after the effective date of this Ordinance. After the effective date of this ordinance, no development application, Certificate of Zoning Compliance, Certificate of Occupancy, or building permit for development shall be approved until the Village Planner or his/her designee determines that the applicant has complied with the standards in this Section.
2. Existing improvements shall be exempt from these provisions except to the extent that any exterior changes or enlargements constitute new development under this Ordinance and shall comply with the minimum standards.
3. These standards shall apply to all new construction which includes: development, redevelopment, Planned Development proposals, and substantial enlargement and/or alteration of the following: all non-residential buildings, mixed use buildings and structures as well as all multiple-family buildings with four (4) or more units.
4. The Staff Appearance Review does not supersede other provisions of the Zoning Ordinance nor does it eliminate any other review processes such as but not limited to those conducted by the Historic Preservation Commission, Plan Commission, or Community Design Commission.
5. The following criteria shall be used to determine applicability:
  - a. New construction shall occur when new or different material is used to build, rebuild, construct or erect a building or structure on a new or existing foundation.

- b. Substantial exterior changes or enlargement shall occur when the total footprint area of the structure as it existed at the time of the adoption of this Section is increased by either 1,000 square feet or 20 percent in area; whichever is less, within any ten-year period. Enlargements of less than 1,000 square feet or 20 percent in area shall not be counted as substantial provided that the cumulative sum of less-than-substantial enlargement within any ten (10) year period does not exceed 1,000 square feet or 20 percent of the total footprint area of the structure from the effective date of this Ordinance.
- c. A substantial exterior enlargement shall occur when the use of an existing structure or site increases by at least 50 percent as measured by seating capacity or parking requirements within any ten (10) year period from the effective date of this Ordinance.
- d. Substantial exterior alteration shall occur when any change other than incidental repairs that would prolong the life of the supporting members of a building, such as bearing walls, columns, beams, girders, or foundations
- e. Routine exterior maintenance activities such as painting, replacing trim in kind, railings in kind or replacing other nonstructural architectural details in kind shall not be considered to constitute a substantial exterior alteration.

#### 6.10.2 Non-Residential and Mixed Use Building Standards

##### A. Building Façade Standards

No building wall that faces a street or connecting pedestrian walkway shall have a blank, uninterrupted length exceeding thirty (30) feet without including at least two (2) of the following categories:

1. Change in plane;
2. Change in texture or masonry pattern;
3. Windows;
4. An equivalent element that subdivides the wall into smaller sections.

B. **Building Entries**

Each building shall have clearly defined, prominent customer/residential entrance(s) that features no less than two (2) of the following categories:

1. Canopies or awnings;
2. Porticos;
3. Recesses or projections;
4. Arcades;
5. Raised cornice parapets over the door;
6. Peaked roof forms;
7. Arches;
8. Glass; or
9. Architectural details such as tile work and moldings that are integrated into the building structure and design.



C. **Four-Sided Treatment**

The building sides and rear facades shall be entirely constructed from some or all of the same materials that are present on the front façade.

D. **Storefront Display Windows**

All front building facades shall include display windows at ground level to allow pedestrians to view goods and activities inside and encourage walking and browsing. Opaque, frosted, etched, tinted, black and reflective mirror glass are prohibited. Store front display windows shall cover at least 60% of the building façades facing public rights-of-way. The bottom sill height of any store front display window shall not measure more than 24 inches from the ground.



E. **Building Front Dimensions**

Building fronts shall be similar in proportion to traditional commercial storefronts, typically between twenty-five (25) and forty (40) feet wide. Buildings with more than forty (40) feet of street frontage shall be broken into smaller sections through the use of changes in wall planes, materials, architectural elements, and similar features.

F. **Building Materials**

1. **Permitted exterior materials:**

- a. natural clay brick,
- b. ceramic tile,
- c. terra cotta,
- d. glass
- e. stone or cast stone,
- f. metal, aluminum, steel,
- g. glass block (not permitted on street façade),
- h. molded cornices and trim in alternate materials such as glass fiber reinforced concrete (GFRC) or fiberglass reinforced plastic (FRP),
- i. wood,
- j. fiber cement materials, cement plaster (stucco) and similar materials
- k. architectural finished concrete.
- l. Other materials as determined from time to time by the Village of Oak Park.



2. **Prohibited exterior materials:**

- a. aluminum siding,
- b. metal industrial type siding,
- c. Vinyl siding
- d. asphalt siding,
- e. E.I.F.S. (synthetic stucco) covering more than 10% of any elevation,
- f. cedar shakes,
- g. concrete masonry units covering of any wall visible from a public right-of-way,
- h. T1-11 and other plywood siding materials, and
- i. Other materials as determined from time to time by the Village of Oak Park.

**G. Awnings and Canopies**

Consider awnings and canopies to provide depth to the façade and to shade storefront glass.



**Permitted:**

1. Facades may be supplemented by awnings which shall be straight sheds or canopies.
2. Glass, steel, canvas and other natural fabric awnings or canopies.
3. Awnings shall only be installed along the 1<sup>st</sup> floor.
4. Individual awnings or canopies for each storefront bay.
5. The front extended edge shall be compatible in height to others in the same block, but in no case shall be lower than eight (8) feet above grade.
6. Awnings shall be constructed so as to discourage harborage of birds and their structural elements shall be primed and painted, anodized or powder-coated with electrostatic paint.
7. Canopies may be supported by cables or chains affixed to the building, or be supported by brackets affixed to the wall but not lower than eight (8) feet above grade.



**Appropriate**

**Prohibited:**

1. Slatted metal, vinyl, plastic and other synthetic materials.
2. Complex awning shapes such as bubbles on domes, or arches on quarter vaults.
3. Aluminum awnings unless they are characteristic of the historic period.
4. Back-lighted and internally illuminated awnings.
5. Avoid use of continuous awnings or canopies across multiple storefront bays.



**Not Appropriate**

**H. Roofs, Parapets and Cornices**

If possible the original roof line and cornice treatment shall be maintained and restored. New buildings shall be sympathetic to the established roof line heights and cornice treatments of adjacent buildings.

Roof-mounted mechanical equipment shall be screened by a parapet wall or of a similar structural feature with its height equal to or greater than the height of the roof-mounted mechanical equipment being screened.



**I. Lighting**

The lighting of a building's façade and site has the dual purpose of advertising a business and discouraging crime.

1. Front and rear entries shall be illuminated.
2. Exterior lighting sources shall be concealed.
3. Exterior spotlighting may be used to illuminate prominent building details. Spot lighting shall not be directly visible to persons inside or outside the subject structure.
4. Integrate building lighting systems with site lighting systems and furnishings.

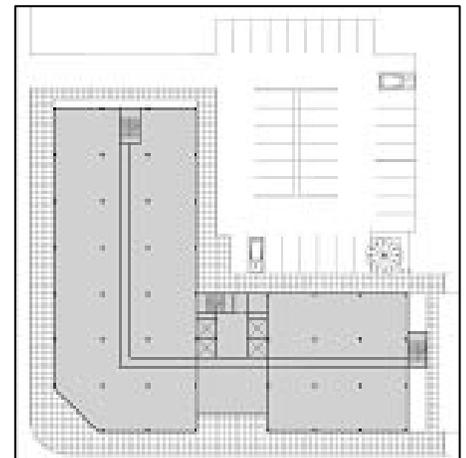
5. Supply power to lighting by underground lines to reduce streetscape clutter.
6. Lines and planes of the light fixtures shall be compatible with surrounding buildings.
7. All lighting on a site shall be located or shielded to avoid casting any direct rays of light on adjoining sites or streets.
8. Illumination of off-street parking areas shall be designed so as not to reflect direct rays of light onto adjacent streets or properties. All lighting shall be reduced to minimum security intensity levels at all times of nonuse. In no case shall such lighting exceed zero foot candles measured at any lot line.
9. The height of parking lot light pole fixtures shall not exceed the roofline of the building or 20 feet, whichever is less.

**J. Parking and Loading Areas**

Off-Street parking areas shall be designed and located so that they are safe, efficient, and improve the character of the district. Parking areas shall be located at the rear or side of the lot. Adjacent property owners are encouraged to work together to share driveways to minimize the number and width of driveways and curb cuts.

Decorative fencing and/or landscaping compatible with the streetscape improvements or the character of the district shall be installed along the edges of parking lots that border public sidewalks and private properties in accordance with Section 6.4: *Landscaping and Buffering of the Zoning Ordinance.*

Decorative fencing and/or landscaping shall be used to screen storage, loading zones, garbage receptacles, grade-mounted transformers and utilities from public view.



**K. Utilities**

Utility (power, telephone and cable) infrastructure shall be designed and located to minimize unattractive visual impacts. New utility infrastructure shall be designed as follows:

1. All new utility wiring shall be located underground unless obstructions make this infeasible as confirmed in writing by the utility company. Where underground utility wiring has been confirmed to be infeasible, locate overhead wiring at the rear of the building.
2. Where new underground utility wiring has been installed, remove all existing above ground utility wiring and poles.

**L. Auto Oriented Uses**

These regulations are intended to address exterior design elements of auto oriented uses to help promote an overall cohesive design and enable comprehensive review of such cases. The regulations are organized into five (5) sections including Site Design, Architecture, Pump Islands, Landscape Design, and Lighting. These regulations are to supplement the rest of the design regulations.

**1. Site Design**

a. All development proposals should show evidence of coordination with the site plan, arrangement of buildings and planning elements of neighboring properties by:

1. Responding to local development patterns and the streetscape through the use of consistent building setbacks, orientation and relationship of structures to the street and linkages to pedestrian facilities.
2. Seeking shared vehicle access with adjoining commercial uses where feasible to minimize curb cuts and enhance pedestrian and vehicular circulation.
3. Minimizing cross traffic conflicts within parking areas.
4. Locating vehicular access points to the site as far away as possible from street intersections.
5. Minimizing the number and width of driveways from the public street. Avoid conflicts with pedestrians along the street by defining a narrower car entrance while allowing for tanker truck turning.

b. Mitigate the negative impacts from site activities on adjoining uses:

1. Service areas, storage areas and refuse enclosures should be oriented away from public view and shall be screened from adjacent sites
2. Orient drive-through windows, menu boards and associated stacking lanes away from residential areas and screen from public view.
3. Orient auto repair bay openings and car-wash openings away from public view.

c. ATMs should be located within the primary retail building when possible.

1. Exterior wall mounted ATMs are discouraged.
2. Freestanding, outdoor ATM's are prohibited under Section 4.3A of the Zoning Ordinance.

d. Pedestrians and Cyclists

1. Locate bicycle parking close to the building entrance in a manner that does not impede pedestrian movement.



## 2. Architecture

The intent of the following architectural regulations is to encourage creative architecture that is responsive to local and regional context and contributes to the aesthetic identity of Oak Park.

- a. Building design shall take into consideration the unique qualities and character of the surrounding area (refer to the Village's Neighborhood Plans for additional information).
- b. The design of stand-alone gas stations and convenience stores shall conform to the dominant existing or planned character of the surrounding neighborhood. This can be accomplished through the use of similar forms, materials and colors.
- c. The design of a facility that occupies a pad or portion of a building within a larger commercial center shall be designed to reflect the design elements of that center.
- d. Drive through elements shall be architecturally integrated into the building rather than appearing to be applied or "stuck on" to the building.

- e. All sides of a building shall express consistent architectural detail and character. All site walls, screen walls and pump island canopies and other outdoor covered areas shall be architecturally integrated with the building by using similar material, color and detailing.
- f. To encourage visually interesting roofs, provide variations in the roof line and incorporate treatments such extended eaves and parapet walls with cornice treatments.
- g. Building accents shall be expressed through differing materials and/or architectural detailing and not through applied finishes such as paint.
- h. All display items for sale shall occur within the main building or within designated areas that are screened from public streets.
- i. Gas tank vents shall be an integral part of the building design in terms of form, color and texture.
- j. Provide transparent windows and doors for retail buildings to ensure visibility between the store, the pump islands and surrounding streets.

### **3. Pump Islands**

The intent of this section is to encourage pump island designs that are well organized and consolidated to minimize visual clutter.

- a. The design of pump islands shall be architecturally integrated with other structures on-site using similar colors, materials and architectural detailing.
- b. The color of the various components of the pump island, including dispensers, bollards and all appurtenances, are encouraged to be muted.
- c. Either a pump island curb or bollard is required for the protections of dispensing units.

### **4. Landscape Design**

Landscaping shall be integral to the overall design concept and shall be carefully planned to serve more than one purpose. The intent of these regulations is to ensure that landscape design contributes to the



overall appearance and function of the site.

- a. Landscaping shall blend with the dominant existing or planned streetscape and character of the area.
- b. All landscaping shall utilize only living plant material.
- c. Dense landscaping and/or architectural treatments shall be provided to screen unattractive views and features such as storage areas, trash enclosures, utility cabinets and other similar elements.
- d. The site design for projects located at street corners should provide landscape treatment at street intersection to emphasize the corner.
- e. Select trees, shrubs and other vegetation considering their tolerance to urban conditions, such as road salt or heat. Give preference to native species of the region that are of equal suitability.
- f. Provide significant architectural or landscape features at the corner on corner sites in order to emphasize the public streets and enhance the streetscape.
- g. Developers are encouraged to use green building technologies such as green roofs, drip irrigation, and other Leadership in Energy and Environmental Design (LEED) approaches.

## **5. Lighting**

### **a. Parking Lot and Site Lighting**

1. All luminaries shall be a full cut-off design, aimed downward and away from the property line.
2. Design lighting so that there is no light spillage, glare or light cast over adjacent uses. Direct and/or shield lighting sources away from adjacent residential properties and provide screening as necessary.
3. The height of light pole fixtures shall not exceed the roofline of the building or 20 feet, whichever is less.

### **b. Building-Mounted Lighting**

1. All luminaries should be a full cut-off design and aimed downward.
2. All luminaries shall be recessed or shielded so the light source is not directly visible from the property line.

### 6.10.3 Multiple-Family Building Standards

#### A. Building Façade Standards

No building wall that faces a street or connecting pedestrian walkway shall have a blank, uninterrupted length exceeding twenty (20) feet without including at least two (2) of the following categories:

1. Change in plane;
2. Change in texture or masonry pattern;
3. Windows;
4. An equivalent element that subdivides the wall into smaller sections.



#### B. Building Entries

Each building shall have clearly defined, prominent residential entrance(s) that features no less than two (2) of the following categories:

1. Canopies or awnings;
2. Porticos;
3. Recesses or projections;
4. Arcades;
5. Raised cornice parapets over the door;
6. Peaked roof forms;
7. Arches;
8. Glass; or
9. Architectural details such as tile work and moldings that are integrated into the building structure and design.

#### C. Four-Sided Treatment

The building sides and rear facades shall be entirely constructed from some or all of the same materials that are present on the front façade.

- D. **Building Front Dimensions**  
Large or long facades shall be broken up into multiple bays while medium sized facades shall be broken by vertical elements.



- E. **Building Materials**
1. **Permitted exterior materials:**
    - a. natural clay brick,
    - b. ceramic tile,
    - c. terra cotta,
    - d. glass
    - e. stone or cast stone,
    - f. metal, aluminum, steel,
    - g. glass block (not permitted on street façade),
    - h. molded cornices and trim in alternate materials such as glass fiber reinforced concrete (GFRC) or fiberglass reinforced plastic (FRP),
    - i. wood,
    - j. fiber cement materials, cement plaster (stucco) and similar materials
    - k. architectural finished concrete.
    - l. Other materials as determined from time to time by the Village of Oak Park.
  2. **Prohibited exterior materials :**
    - a. aluminum siding,
    - b. metal and vinyl siding,
    - c. asphalt siding,
    - d. E.I.F.S. covering more than 10% of any elevation (synthetic stucco),
    - e. cedar shakes,
    - f. concrete masonry units covering any wall visible from a public right-of-way,
    - g. T1-11 and other plywood siding materials, and
    - h. Cantilevered mansard roofs.

- i. Other materials as determined from time to time by the Village of Oak Park.

F. **Awnings and Canopies**

Consider awnings and canopies to provide depth to the façade.

**Permitted:**

1. Facades may be supplemented by awnings which shall be straight sheds or canopies.
2. Glass, steel, canvas and other natural fabric awnings or canopies shall be permitted.
3. Awnings shall only be installed along the 1<sup>st</sup> floor.
4. The front extended edge shall be compatible in height to others in the same block, but in no case shall be lower than eight (8) feet above grade.
5. Awnings shall be constructed so as to discourage harborage of birds and their structural elements shall be primed and painted, anodized or powder-coated with electrostatic paint.
6. Canopies may be supported by cables or chains affixed to the building, or supported by brackets affixed to the wall but not lower than eight (8) feet above grade.

**Prohibited:**

1. Slatted metal, vinyl, plastic and other synthetic materials.
2. Complex awning shapes such as bubbles on domes, or arches on quarter vaults.
3. Aluminum awnings unless they are characteristic of the historic period.
4. Back-lighted and internally illuminated awnings.

G. **Roofs, Parapets and Cornices**

If possible the original roof line and cornice treatment shall be maintained and restored. New buildings shall be sympathetic to the established roof line heights and cornice treatments of adjacent buildings.



Not Appropriate

Roof-mounted mechanical equipment shall be screened by a parapet wall or of a similar structural feature with its height equal to or greater than the height of the roof-mounted mechanical equipment being screened.

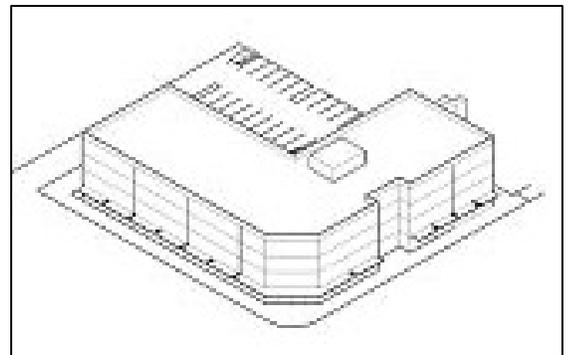
H. **Lighting**

The lighting of a building's façade and site has the dual purpose of lighting architectural features and providing safety to pedestrians.

1. Front and rear entries shall be illuminated.
2. Exterior lighting sources shall be concealed.
3. Exterior spotlighting may be used to illuminate prominent building details. Spotlighting shall not be directly visible to persons inside or outside the subject property.
4. Integrate building lighting systems with site lighting systems and furnishings.
5. Supply power to lighting by underground lines to reduce streetscape clutter.
6. Lines and planes of the light fixtures shall be compatible with surrounding buildings.
7. All lighting on a site shall be located or shielded to avoid casting any direct rays of light on adjoining site or streets.
8. Illumination of off-street parking areas shall be designed so as not to reflect direct rays of light onto adjacent streets or properties. All lighting shall be reduced to minimum security intensity levels at all times of nonuse. In no case shall such lighting exceed zero foot candles measured at any lot line.
9. The height of parking lot light pole fixtures shall not exceed the roofline of the building or 20 feet, whichever is less.

I. **Parking and Loading Areas**

Off-Street parking areas shall be designed and located so that they are safe, efficient, and improve the character of the district. Parking areas shall be located at the rear or side of the lot. Adjacent property owners are encouraged to work together to share driveways to minimize the number and width of driveways and curb cuts.



Decorative fencing and/or landscaping compatible with the streetscape improvements or the character of the district shall be installed along the edges of parking lots that border public sidewalks and private properties in accordance with Section 6.4: Landscaping and Buffering of the Zoning Ordinance.

Decorative fencing and/or landscaping shall be used to screen storage, loading zones, garbage receptacles, grade-mounted transformers and utilities from public view.



J. **Utilities**

Utility (power, telephone and cable) infrastructure shall be designed and located to minimize unattractive visual impacts. New utility infrastructure shall be designed as follows:

1. All new utility wiring shall be located underground unless obstructions make this infeasible as confirmed in writing by the utility company. Where underground utility wiring has been confirmed to be infeasible, locate overhead wiring at the rear of the building.
2. Where new underground utility wiring has been installed, remove all existing above ground utility wiring and poles.

**6.10.4 Building/Street Relationship**

A. **Building Orientation**

Orient buildings to create a positive relationship to the street. Present the “front face” of the building to the street and relate the activities of the building to street activities.

The primary building facade and main ~~customer~~ entry shall be immediately accessible to the primary abutting street. In the case of a corner lot, the arterial street, as defined in the Village Comprehensive Plan, shall be primary. In the case where two arterial streets cross, either arterial street may be used.

When there is only one building in a proposed commercial or mixed-use development that will be occupied by multiple tenants, at least fifty (50%) percent of the building’s “active”

wall shall be oriented toward the primary abutting street. The “active” wall is that which has the majority of storefronts, entrances, and windows.

**B. Street Edge**

To the maximum extent practicable, all building construction shall maintain the established front building line along the street edge to create a consistent relationship of buildings and form a visually continuous, pedestrian-oriented street front, except that in any event a minimum of 40% of the development site’s primary street edge should be occupied by building frontage and a minimum of 80% of the development site’s primary street edge should be occupied by a combination of building frontage, ornamental fencing, decorative architectural walls, plazas, or other functional open space. Driveway and sidewalk access points shall not be counted in this calculation. (For example, if the total street frontage is 100 feet and driveways make up 30 feet of that frontage, the 80% standard would be applied to 70 feet (100-30) to produce 56 feet of building frontage, ornamental fencing, etc.).

**6.10.5 Energy Efficient Construction**

The Village of Oak Park encourages energy efficient buildings. The Village of Oak Park recognizes the following but not limited to LEED Certification; 2000 International Energy Conservation Code (IECC); ASHRAE/IESNA Standard 90.1-1999, Energy Standard for Buildings except low-rise residential buildings; Energy Star and Green Globes as promoting energy efficient buildings.



**6.10.6 Staff Appearance Review**

**A. Purpose.**

The purpose of these building standards is to:

1. Stabilize or improve property values in the Village of Oak Park.
2. Promote civic beautification of the Village of Oak Park.
3. Protect property rights and values by balancing the rights of landowners to use and improve their land with the corresponding rights of abutting and neighboring landowners to enjoy their property.
4. Promote environmentally sustainable buildings;
5. Promote the development of an economically sound and stable Village of Oak Park.
6. Integrate new development harmoniously into the existing structures within the Village of Oak Park.

**B. Staff Appearance Review Committee Members.**

There is hereby created the Village of Oak Park Staff Appearance Review Committee which shall consist of the Village Manager or his/her designee, the Village Planner or his/her designee, and the Director of Building and Property Standards or his/her designee.

**C. Rules.**

1. Three (3) members of the Staff Appearance Review Committee shall constitute a quorum.
2. The concurring affirmative vote of at least two (2) members of the Staff Appearance Review Committee shall be required for approval of any action by the Staff Appearance Review Committee.

**D. Staff Appearance Review Committee Submittal.**

There shall be three (3) 11x17 (or larger) packets submitted and shall contain the following:

1. Plat of Survey and site plan.
2. Identification of the existing and proposed development on the site and adjacent sites, including elevations for all sides.
3. Identification of zoning and zoning regulations for the site.
4. Approximate number of units, amount of commercial square footage, and amount of parking.
5. Building material samples and product information representing accurate color, texture, pattern, finish and range of variations of all exterior building materials proposed.
6. Lighting plan identifying the location, height and type of all exterior building illumination proposed.

7. Landscaping plan identifying the location, caliper and types of trees, shrubs, durable landscape barriers, screen plantings, grass, ground cover, planters and planting areas.
8. Identification of whether the site is within a Historic District, a Historic Landmark or identified as a structure of merit or significant as noted in a Village of Oak Park architectural surveys.
9. Applicants are encouraged to provide existing neighborhood context photos and/or drawings depicting how their proposed development contextually responds to the existing built environment in a positive and compliant manner.
10. Identification of building construction type.

**E. Pre-Application Conference.**

A prospective applicant, prior to submitting a formal application for building permit, may request a meeting with the Staff Appearance Review Committee Members. The purpose of the conference is to help the applicant understand the applicable Building Design Standards by which the application will be evaluated and the application requirements.

**F. Meetings of Staff Appearance Review Committee.**

Upon receipt of a complete Staff Appearance Review Committee application along with all required documentation, a meeting of the Staff Appearance Review Committee shall be scheduled and held within fifteen (15) business days. At the Staff meeting, the application may be approved, approved with modifications or the submittal denied with written findings as to how the proposed development does not meet the non-residential or multi-family building standards. Upon approval of a submitted application or approval with modifications, the applicant may seek appropriate permits or proceed with other required application processes. An approval from the Staff Appearance Review Committee shall be null and void if the recipient does not file an application for a building permit for the proposed development within six months after the date of approval.

1. A decision of the Staff Appearance Review Committee may be appealed to the Community Design Commission and may be modified, reversed or affirmed by the Commission. Such appeal shall be filed within ten (10) business days of the decision of the Staff Appearance Review Committee. Community Design Commission

- shall hear such appeal at its next regularly scheduled meeting.
2. A decision of the Community Design Commission may be appealed to the Village Board and may be modified, reversed or affirmed by the Board. Such appeal shall be filed within ten (10) business days of the Commission's decision and the Village Board shall hear such appeal at its next regularly scheduled meeting.
  3. Time extensions may be authorized by the Staff Appearance Review Committee provided the applicant demonstrated that there are circumstances, difficulties or practical hardships which make compliance with the original six (6) months' approval period unreasonable.

**G. Appearance Review Committee Criteria.**

The following criteria shall be considered by all Village reviewing entities in connection with the submittal of any Appearance Review Committee application.

1. *Relate development to its environment.* The proposed development shall relate appropriately to its context. It shall relate harmoniously to the terrain and to the use, scale and architecture of existing buildings in the vicinity which have a functional or visual relationship to the proposed structure(s). Proposals that deviate substantially from established neighborhood patterns shall be discouraged;
2. *Preserve the landscape.* The landscape, existing terrain, and any significant trees and vegetation shall be preserved in its natural state insofar as practicable. Tree and soil removal shall be minimized and any grade changes shall be in keeping with the general appearance of neighboring developed areas. If natural features and existing landscaping are proposed to be removed, special attention shall be accorded to plans to replace such features and landscaping;
3. *Provide open space.* All open space shall be designed to be visually and physically accessible to the extent feasible. Open space shall add to the visual amenities of the vicinity by maximizing its visibility for persons passing or overlooking the site from neighboring properties. If open space is intended for active use, it shall be so designed as to maximize its accessibility for all

individuals, including the disabled, encourage social interaction, and facilitate ease of maintenance;

4. *Provide efficient and effective circulation.* With respect to vehicular and pedestrian circulation, special attention shall be given to the location and number of access points to public streets and sidewalks, to the separation of vehicles and pedestrians, to the arrangement of parking areas and to service and loading areas, and to the location of accessible routes and ramps for the disabled;
5. *Provide for nature's events.* Special attention shall be accorded to stormwater runoff so that neighboring properties and/or the public stormwater drainage system are not adversely affected. Attention shall also be accorded to design features which address the affects of rain, snow and ice at building entrances and to provisions for snow and ice removal from circulation areas;
6. *Integrate special features with the design.* Exposed storage areas, machinery and equipment installation, service areas, truck loading areas, utility connections, meters and structures, mailboxes, lighting, and similar accessory structures shall be subject to such setbacks, screen planting or other mitigation or screening methods as shall reasonably be required to prevent their being incongruous with or offensive to existing or proposed structures and surrounding properties. Special features, which are essential to a structure's function, shall be incorporated into the original structure design, not added as an afterthought;
7. *Make spaces secure and safe.* With respect to personal safety, all open and enclosed spaces shall be designed to facilitate building evacuation, maximize accessibility by fire, police or other emergency personnel and equipment, and, to the extent feasible, provide for adequate and secure visibility for persons using and observing such spaces;
8. *Protect Oak Park's heritage.* The removal or disruption of historic, traditional or significant, uses, structures or architectural features or neighborhood patterns shall be minimized insofar as practicable, whether these exist on the site or on adjacent properties. Significant structures and/or structures with important architectural features

shall be identified by their inclusion in a Historic District or noted in an official architectural survey. New structures, additions, and alterations shall be sympathetic to and complement the scale and design of surrounding historic structures and locally significant buildings of architectural merit;

9. *Consider the microclimate.* Any development which proposes new structures, additional lot coverage, or the installation of machinery or equipment which emits heat, vapor, fumes, or noise shall endeavor to minimize, insofar as practicable, any adverse impact on light, air, and water resources, or on the noise and temperature levels of the immediate environment.
10. *Protect existing scale and streetscape.* The arrangement of new structures and facilities shall respect and be compatible with existing development. Where appropriate, new structures shall be built to the street property line to retain traditional street patterns and the integrity of Village blocks and their corners.
11. *Protect solar access.* New structures shall have minimal adverse impact on solar access to open space and adjacent structures in order to preserve and provide for active and passive solar utilization where practicable;
12. *Reduce energy utilization.* New structures shall incorporate best available technologies and materials in order to maximize energy efficient design;
13. *Minimize shadow impacts.* New structures and additions to existing structures shall be shaped to reduce substantial impacts of shadows on public plazas and other publicly accessible spaces. In determining the impact of shadows, the following factors shall be taken into account: the amount of area shaded, the duration of shading, and the importance of sunlight to the utility of the type of open space being shadowed;
14. *Conceal rooftop devices.* Rooftop mechanical equipment and appurtenances to be used in the operation or maintenance of a structure shall be arranged so as to minimize visibility from any point at or below the roof level of the subject structure;

15. Make service access secondary to pedestrian access. Any point of vehicular access for delivery of goods shall be encouraged to respect the character of the pedestrian corridor where it exists or is proposed; and
16. Achieve design excellence. Endeavors to achieve design excellence in all new structures are encouraged.

#### **6.10.7 Violation and Penalty**

- K. Any person, firm or corporation, who violates, disobeys, omits, neglects or refuses to comply with or resists the enforcement of the provisions of this Section of the Zoning Ordinance shall upon conviction be subject to the violation and penalty provisions of Article 8 set hereinbelow.