



**Design That Draws**  
APA-IL Chicago Metro Section, Municipal Design Review Network (MDRN), AIA-Chicago and CNU-IL  
March 16, 2017



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# Elmhurst Facts

Population: 44,454

Average Age of Residents: 39.5 years old

Average Family income: \$146,693 per year

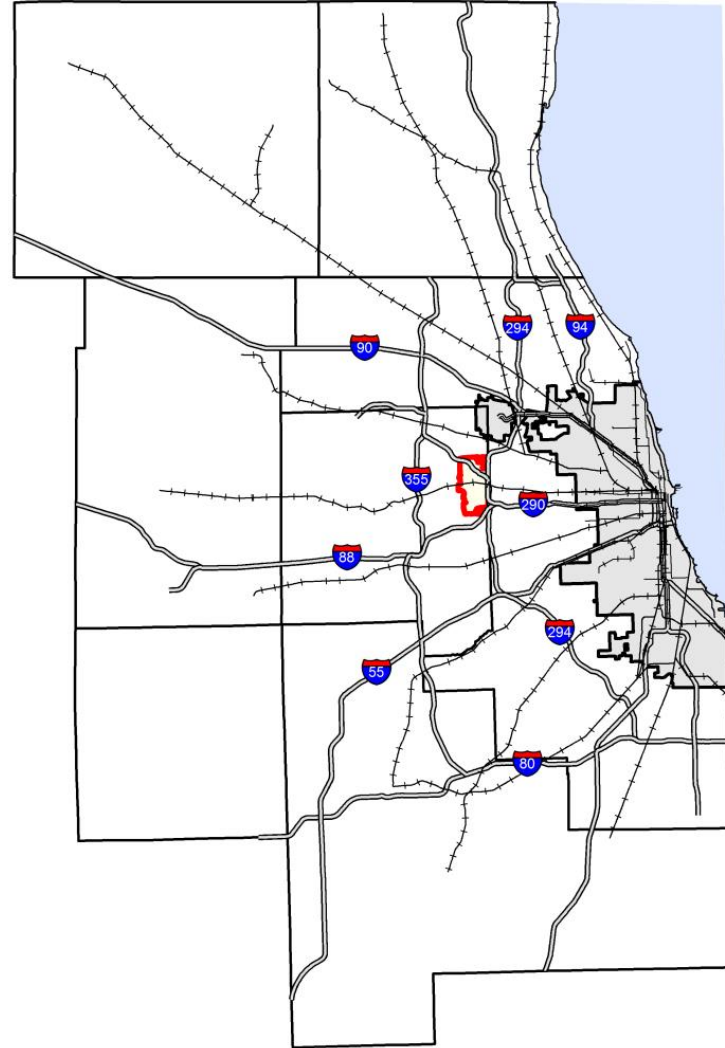
Dwelling Units: 16,590 (homes, apartments, condos)

Approximately 2,500 businesses in Elmhurst

Land area: 10.2 square miles

16 miles to Downtown Chicago

5 miles to O'Hare Airport



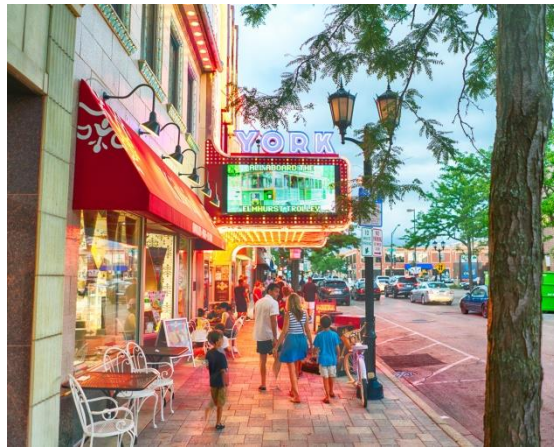
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# Downtown Elmhurst

Traditional Downtown with train station. It is home to the 10-screen York Theatre and many shops and restaurants. There are approximately 945 residential units downtown and that number is increasing.



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The City proactively approaches ways to meet the needs and wants of the growing Millennial population base.

As the City continues to pursue opportunities to enhance the Elmhurst's Economic Well Being, the role of the Millennial on the City's future will continue to be taken into consideration.



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Millennials want to have high levels of well-being.

Elmhurst has become a Wellness Destination. The downtown City Centre and community is thriving with growth from the vibrant and rising trend of wellness-related businesses in locations that have traditionally housed retail and restaurant occupants.



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In 2016 Elmhurst added 192 luxury apartments three blocks from the train as part of the mixed use development Elmhurst 255.

In late 2018, an additional 165 luxury apartments will come online across the street from the Metra Station, as part of a new mixed use development by the Opus Group.

Both developments also feature first floor retail.



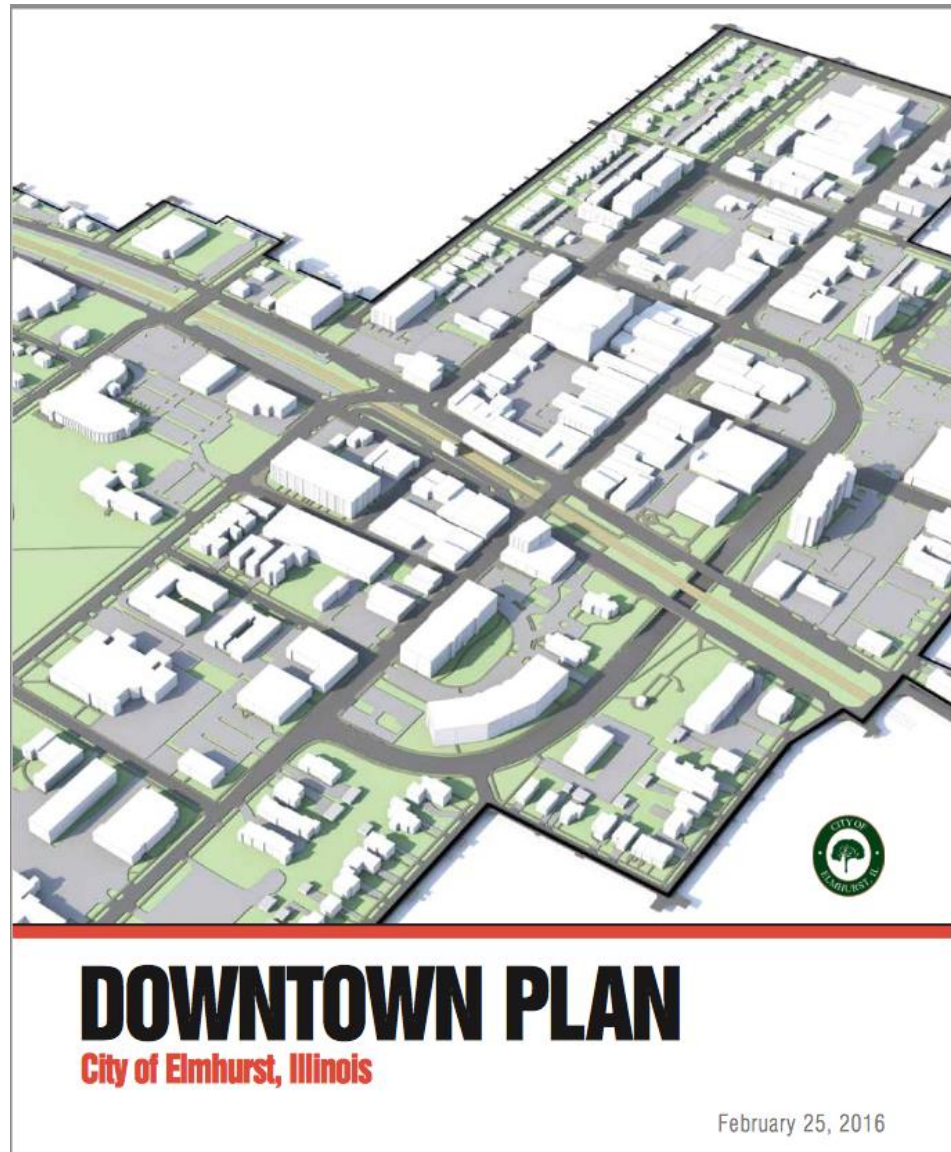
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## Downtown Plan Update

The Downtown Plan was identified by City Council as a priority in late 2014. There had been an increase in Zoning Ordinance Variations and Conditional Use applications relative to downtown development activities. Additionally, there were conflicts between 1992 Zoning Ordinance and 2006 Downtown Plan.



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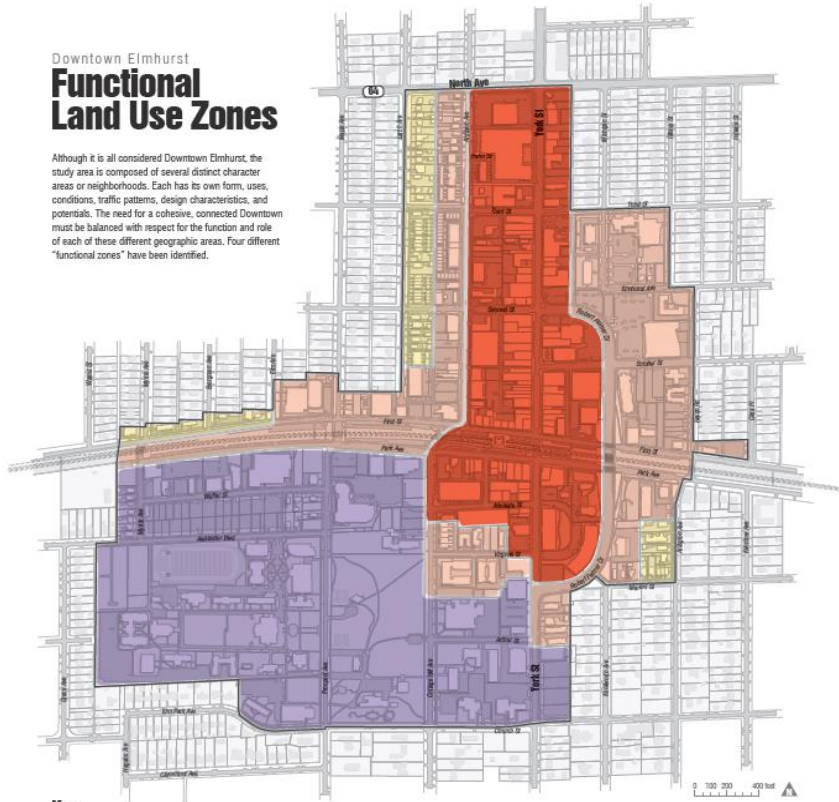
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# Functional Land Use Zones

## Downtown Elmhurst Functional Land Use Zones

Although it is all considered Downtown Elmhurst, the study area is composed of several distinct character areas or neighborhoods. Each has its own form, uses, conditions, traffic patterns, design characteristics, and potentials. The need for a cohesive, connected Downtown must be balanced with respect for the function and role of each of these different geographic areas. Four different "functional zones" have been identified.



### Key

- Context**
- Downtown Elmhurst Boundary
  - Railroad
  - Roads & Surface Parking Lots

### Zones

**Core Zone**  
The Core is the heart of Downtown and the area that everyone considers to be a part of Downtown. Mixed-use in nature, it includes most of Downtown's shopping, dining, and entertainment uses.

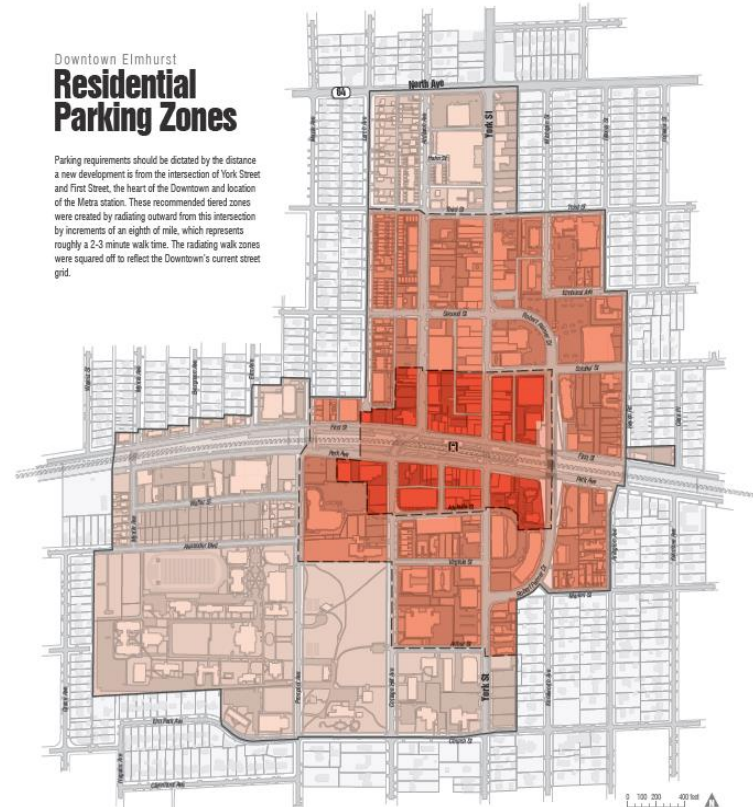
**Outer Core Zone**  
The Outer Core surrounds the Core area and plays a unique role in the function of Downtown. Its interior areas provide an opportunity for Core expansion, while its outer areas provide a unique environment to increase the density of Downtown employees and residents.

**Neighborhood Transition Zone**  
Neighborhood Transition zones help Downtown decrease its intensity moving away from the Core and Outer Core toward quiet single family neighborhoods. It should continue to consist of moderate residential density.

**Civic/Institutional Zone**  
The Civic/Institutional Campus area is a special area defined by its unique mix of public, institutional, and quasi-public uses within a concentrated location.

## Downtown Elmhurst Residential Parking Zones

Parking requirements should be dictated by the distance a new development is from the intersection of York Street and First Street, the heart of the Downtown and location of the Metra station. These recommended tiered zones were created by radiating outward from this intersection by increments of an eighth of a mile, which represents roughly a 2-3 minute walk time. The radiating walk zones were squared off to reflect the Downtown's current street grid.



### Key

- Context**
- Downtown Elmhurst Boundary
  - Railroad

- Parking Rate**
- Tier 1 - 0.5 parking spaces/du
  - Tier 2 - 1.0 parking spaces/du
  - Tier 3 - 1.5 parking spaces/du



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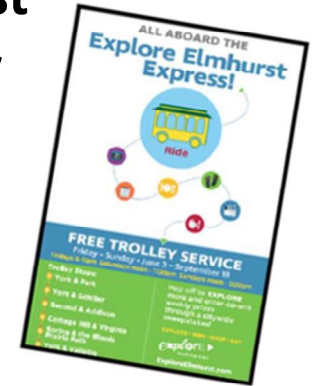
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# Elmhurst Metra Station Conceptual Plans



# Explore Elmhurst Express Trolley



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2013

Elmhurst: 264

Chicago: 131

Neighboring Communities: 32

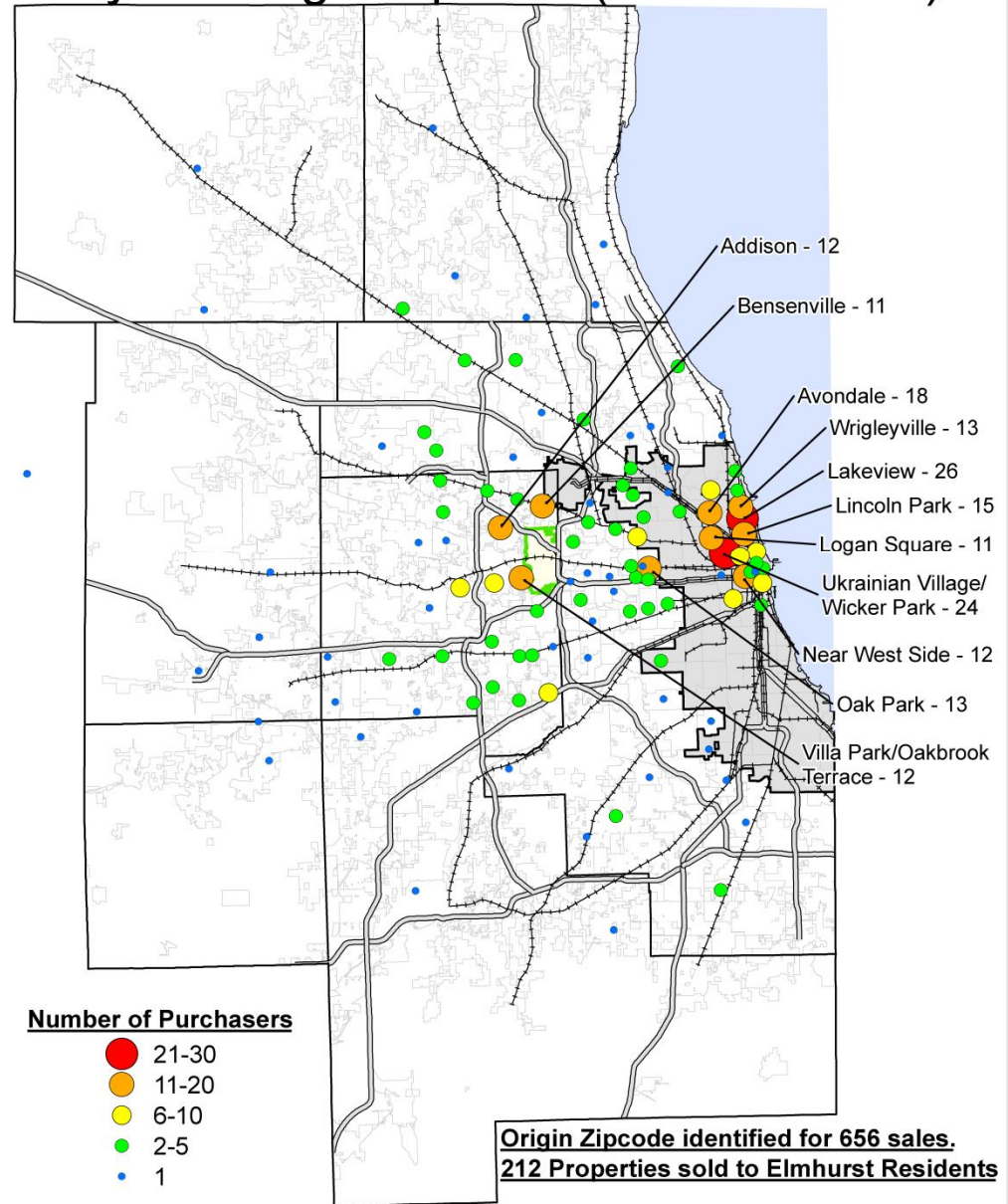
2015

Elmhurst: 212

Chicago: 194

Neighboring Communities: 35

## 2015 Residential Transfer Stamps Buyer's Origin Zipcode (non-Elmhurst)



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“Millennials want to be healthy, but they also want a purposeful life, active community and social ties, and financial stability. Regarding that financial stability, millennials want to be able to spend money not just on what they need, but also on what they want.”

- Gallup 2016



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## For more information:

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<https://youtu.be/GZF8AgPEFh0>



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